

50 Kent Road, Mascot

Tipalea Partners P/L



DEVELOPMENT APPLICATION DRAWING LIST

DA-10-01	COVER SHEET
DA-10-04	SITE PLAN
DA-11-10	GROUND FLOOR PLAN
DA-11-11	MEZZANINE PLAN
DA-12-11	FIRST FLOOR PLAN
DA-12-12	SECOND FLOOR PLAN
DA-12-13	THIRD FLOOR PLAN
DA-12-15	TYPICAL COMMERCIAL FLOOR PLAN (LEVELS 4-8)
DA-12-20	ROOF PLAN
DA-12-21	ARCHITECTURAL ROOF FEATURE PLAN
DA-15-01	EAST ELEVATION
DA-15-02	WEST ELEVATION
DA-15-03	SOUTH ELEVATION
DA-15-04	NORTH ELEVATION
DA-16-01	SECTION AA
DA-16-02	SECTION BB
DA-17-60	DEMOLITION PLAN
DA-17-80	GFA AREAS

Notes

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C	18.08.20	DEVELOPMENT APPLICATION - AMENDED
B	19.06.20	DEVELOPMENT APPLICATION - AMENDED
A	16.12.19	DEVELOPMENT APPLICATION

Rev	Date	Description
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sissons.

p: 02 8904 1853 abn: 31 621 375 129
a: Level 5, 53 Berry Street, North Sydney, NSW 2060
nominated architect: Nick Sissons NSW ARB 7210

Client

Tipalea Partners Pty Ltd

Project

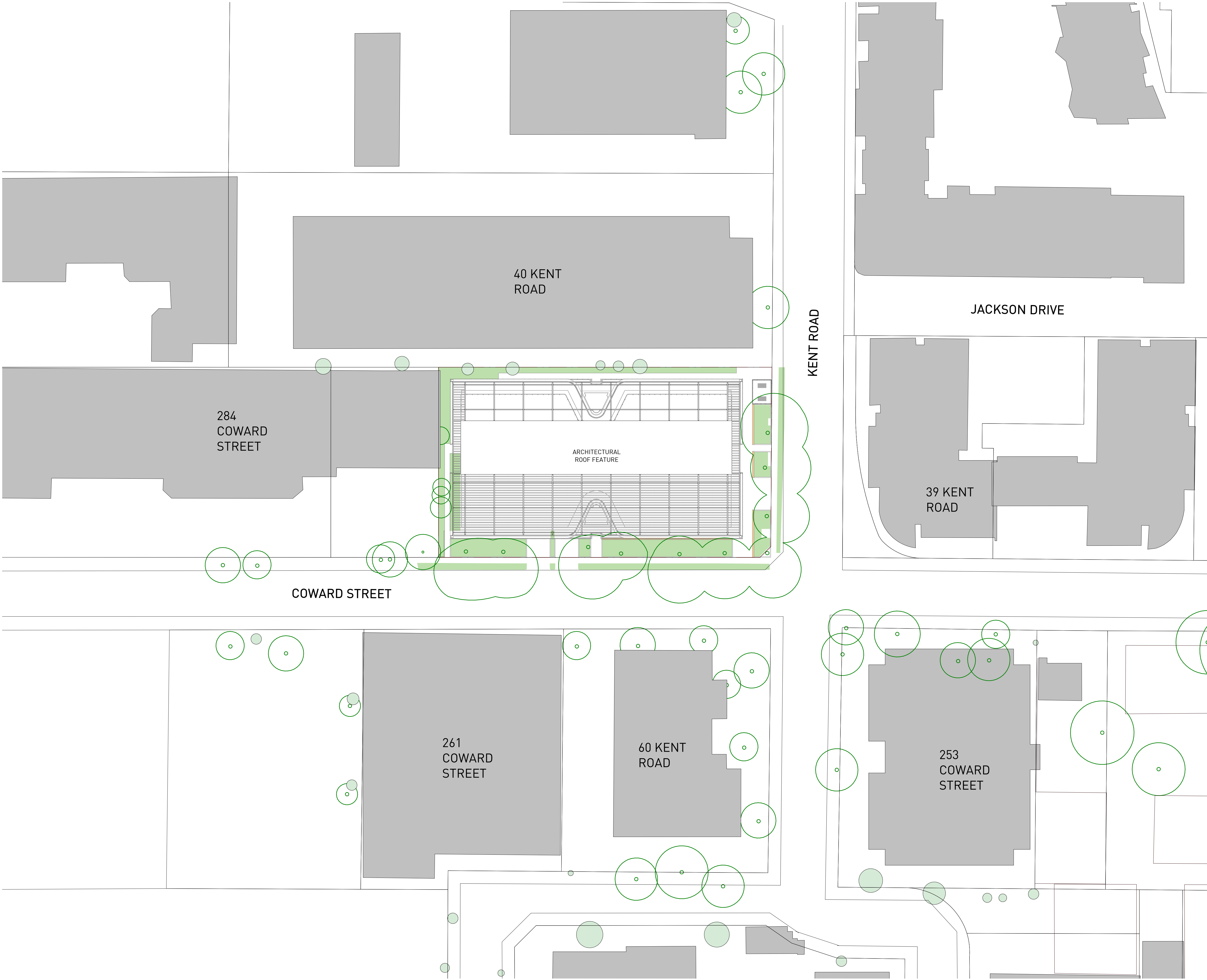
50 Kent Road

Drawing Title

COVER SHEET

Project No.	Stage.
19-026	DEVELOPMENT APPLICATION

Drawing No.	Rev
DA-10-01	C



Notes

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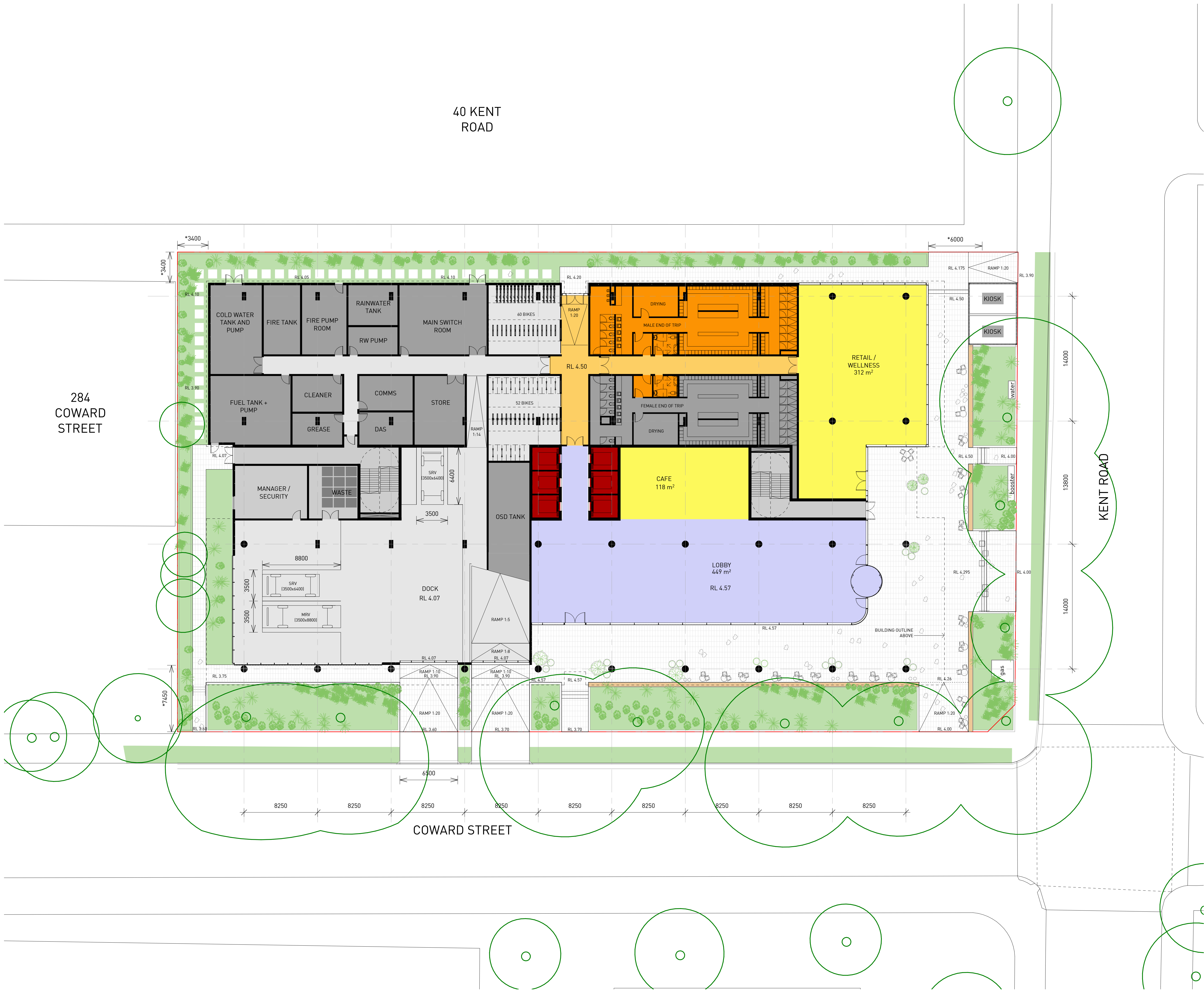
Project
50 Kent Road

Scale
1 : 500 @A1
(half scale @ A3)

Drawing Title
SITE PLAN

Project No. Stage.
19-026

Drawing No. Rev
DA-10-04 **C**



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50 Kent Road

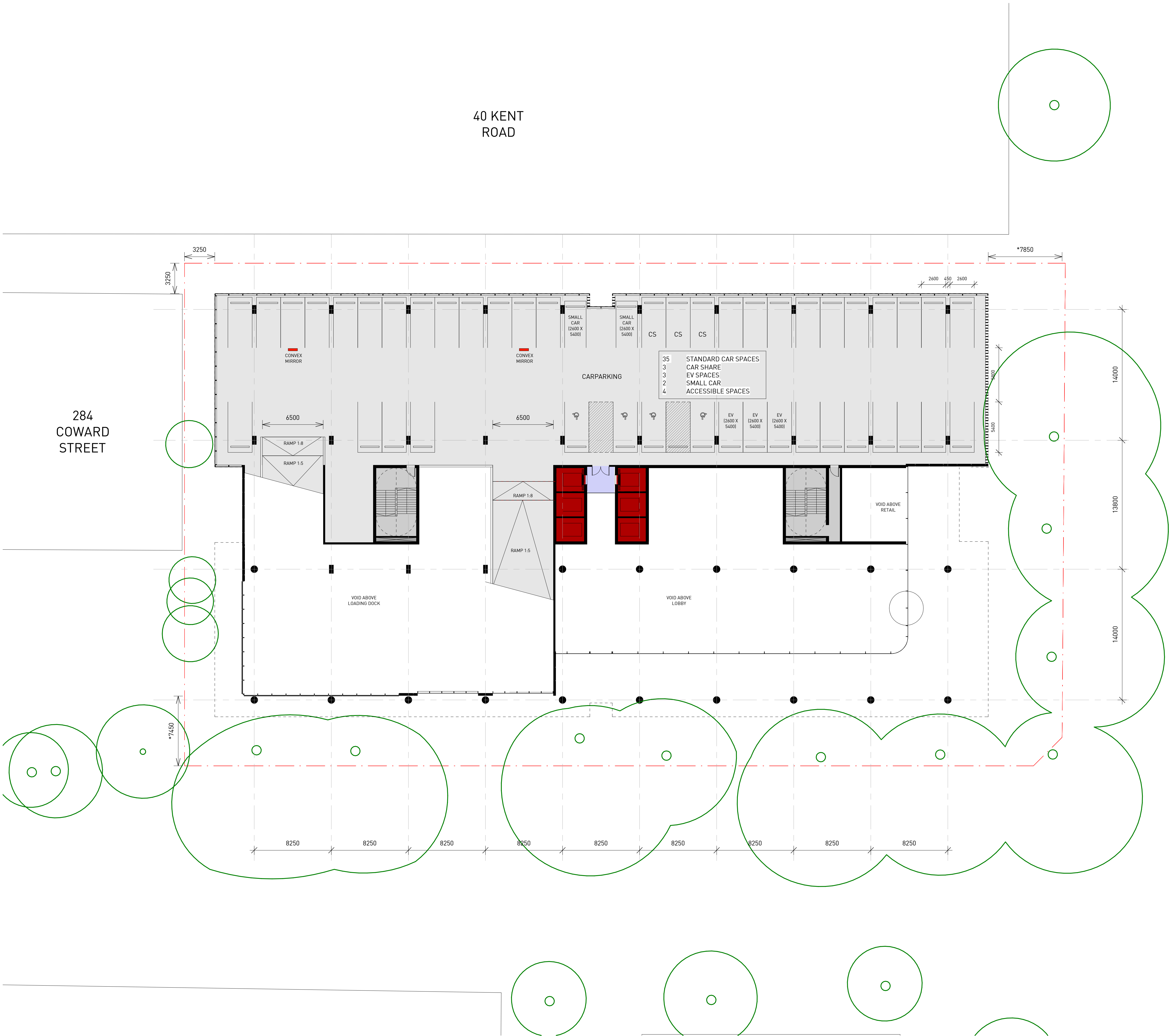
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(half scale @ A3)

Drawing Title

GROUND FLOOR PLAN

Project No.	Stage.
19-026	DEVELOPMENT APPLICATION
Drawing No.	Rev
DA-11-10	C



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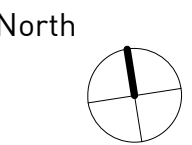
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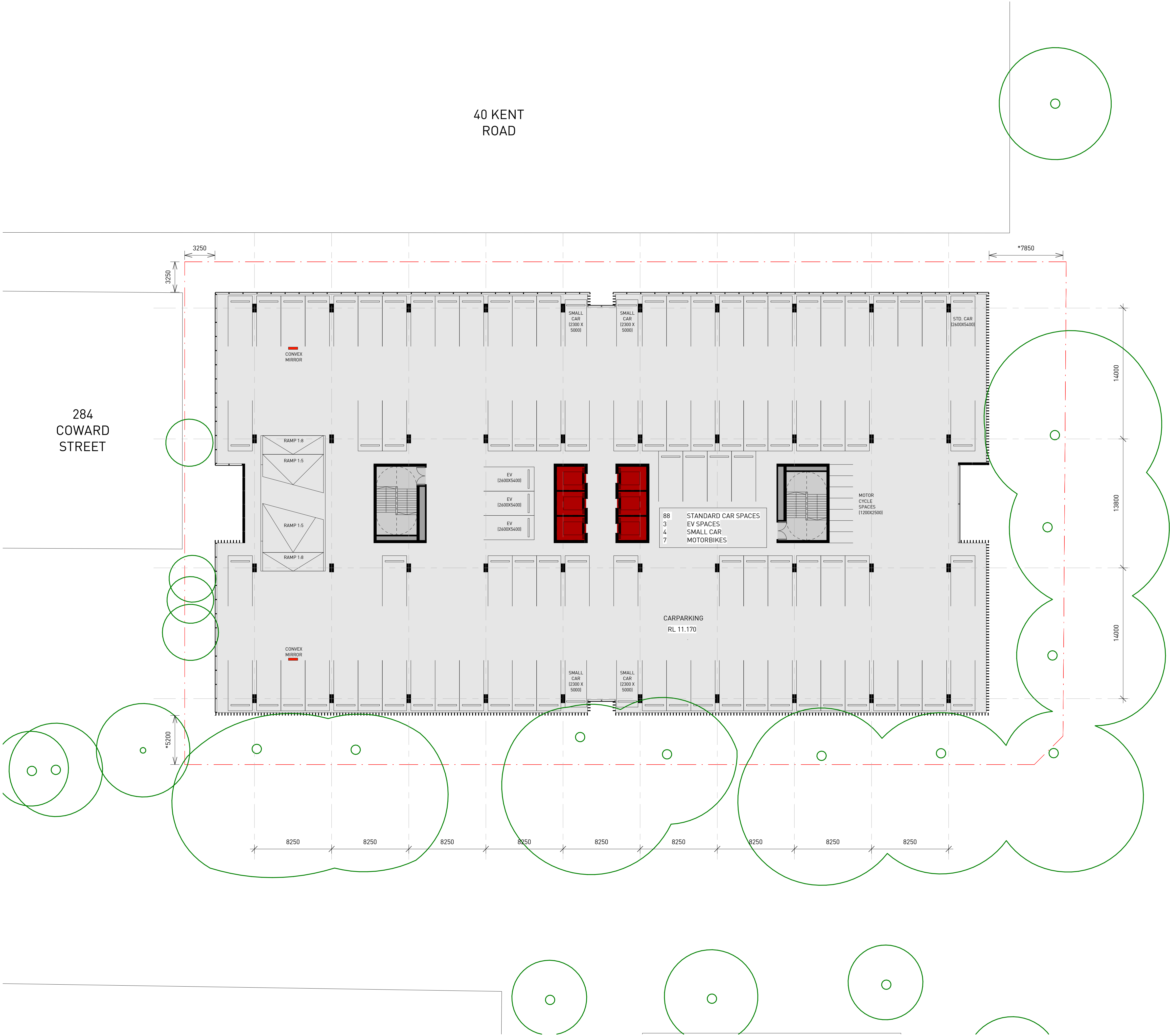
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(half scale @ A3)



Drawing Title
MEZZANINE PLAN

Project No. Stage.
19-026 DEVELOPMENT APPLICATION

Drawing No. Rev
DA-11-11 C



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Scale

1 : 200 @A1
(half scale @ A3)

Drawing Title

FIRST FLOOR PLAN

Project No.

19-026

Stage.

DEVELOPMENT APPLICATION

Drawing No.

DA-12-11

Rev

C

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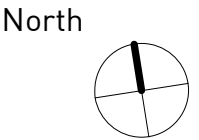
sissons.

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Project
50 Kent Road

Scale
1 : 200 @A1
(half scale @ A3)

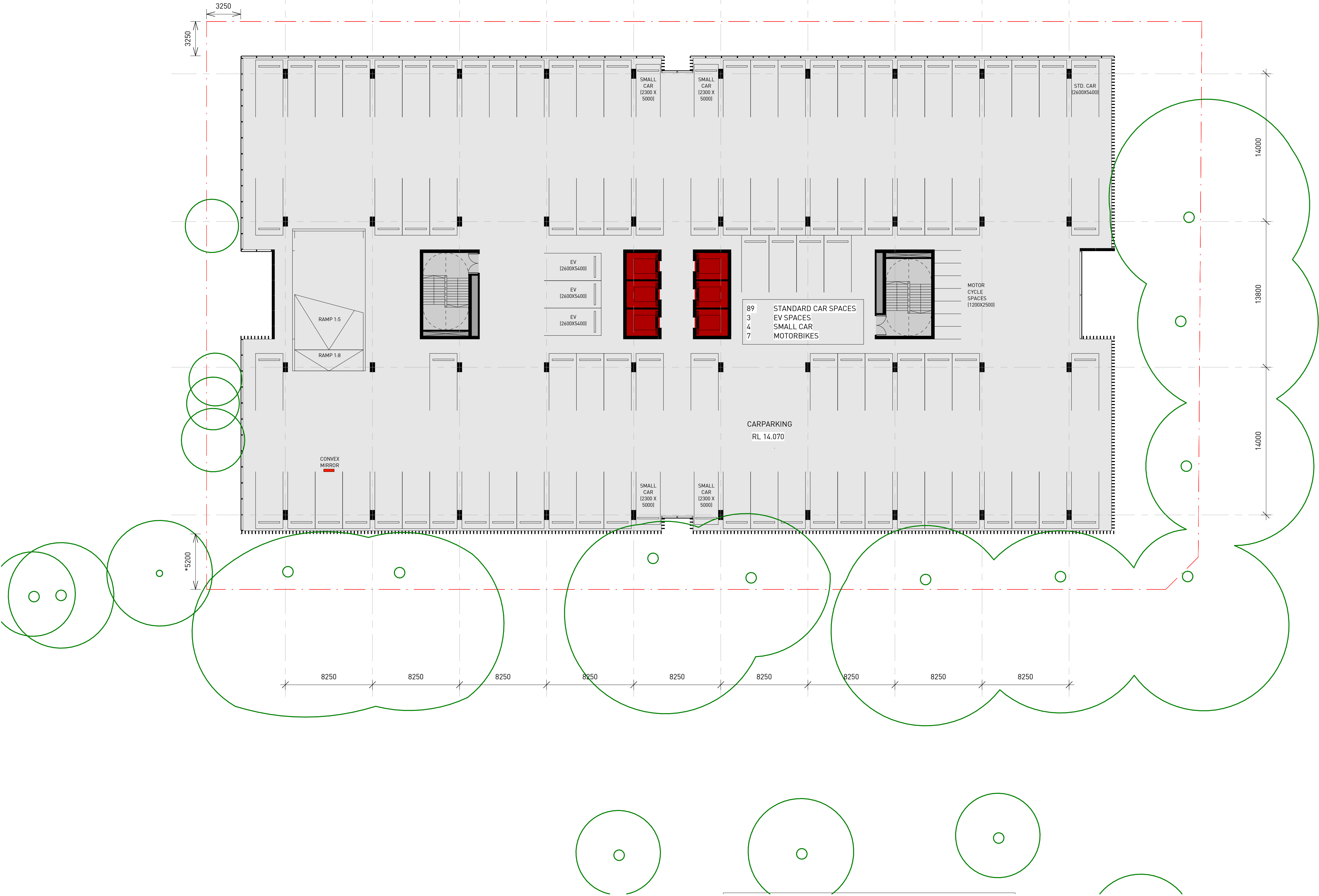


Drawing Title
SECOND FLOOR PLAN

Project No. Stage.
19-026

Drawing No. Rev
DA-12-12 B

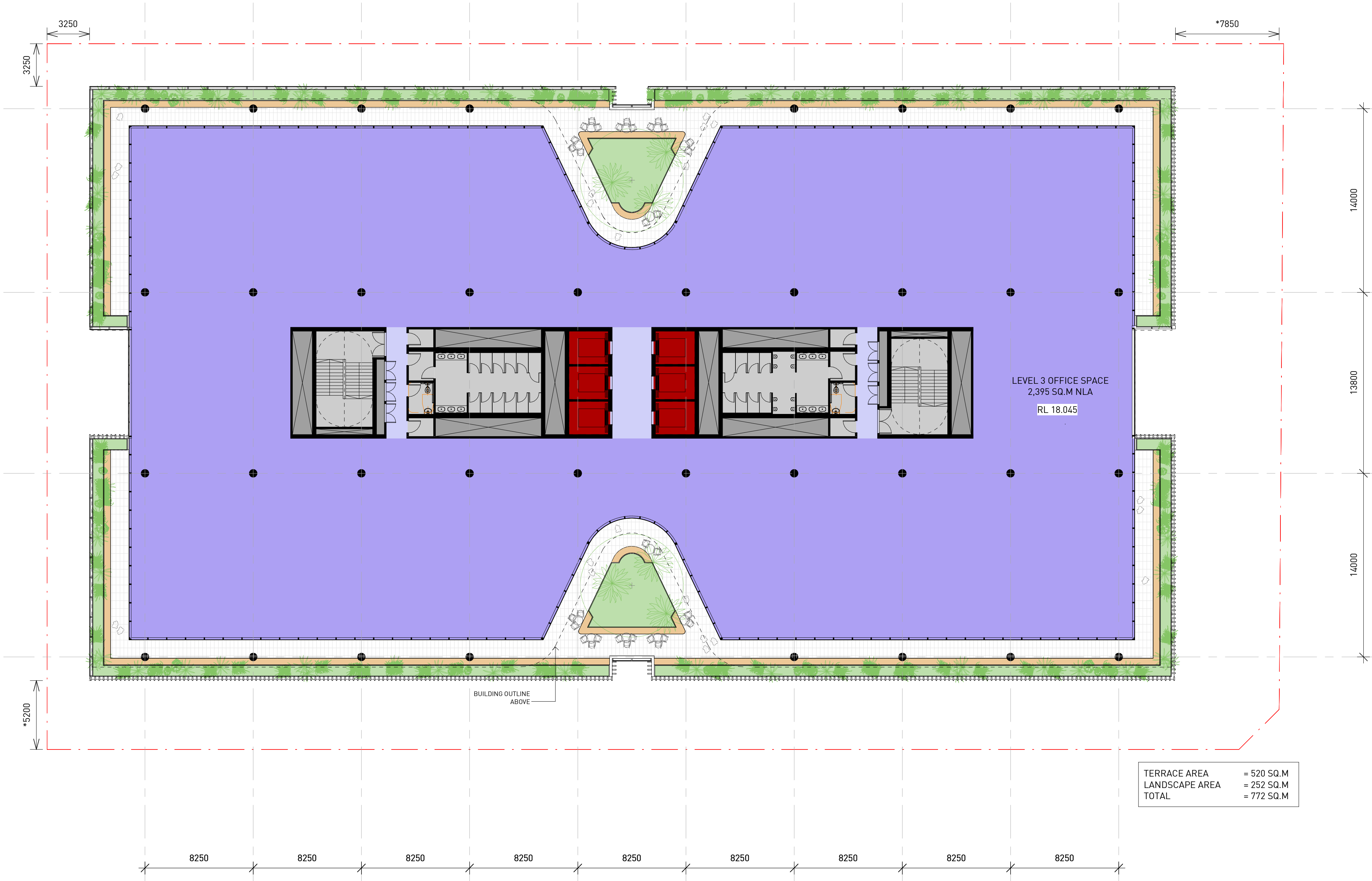
40 KENT
ROAD



Notes

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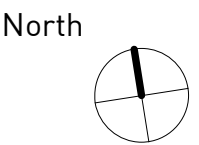
Tipalea Partners Pty Ltd

Project

50 Kent Road

Scale

1 : 200 @A1
(half scale @ A3)



Drawing Title

THIRD FLOOR PLAN

Project No.

19-026

Stage.

DEVELOPMENT APPLICATION

Drawing No.

DA-12-13

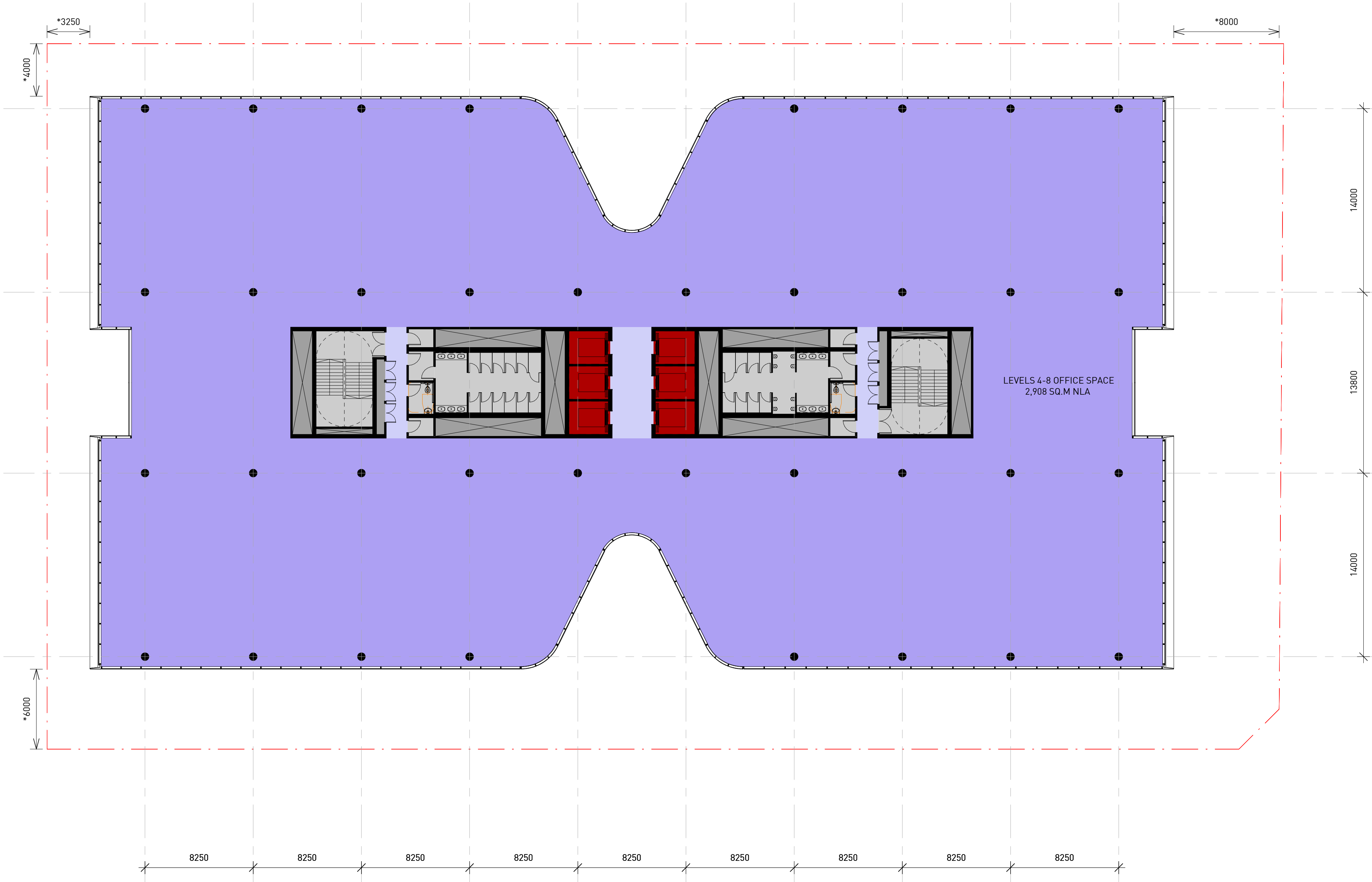
Rev

C

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1	14.04.20	AMENDED SCHEME
A	16.12.19	DEVELOPMENT APPLICATION

Rev	Date	Description
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sissons.

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Tipalea Partners Pty Ltd

Project

50 Kent Road

Scale

1 : 200 @A1
(half scale @ A3)

North



Drawing Title

**TYPICAL COMMERCIAL FLOOR
PLAN (LEVELS 4-8)**

Project No.

19-026

Stage.

DEVELOPMENT APPLICATION

Drawing No.

DA-12-15

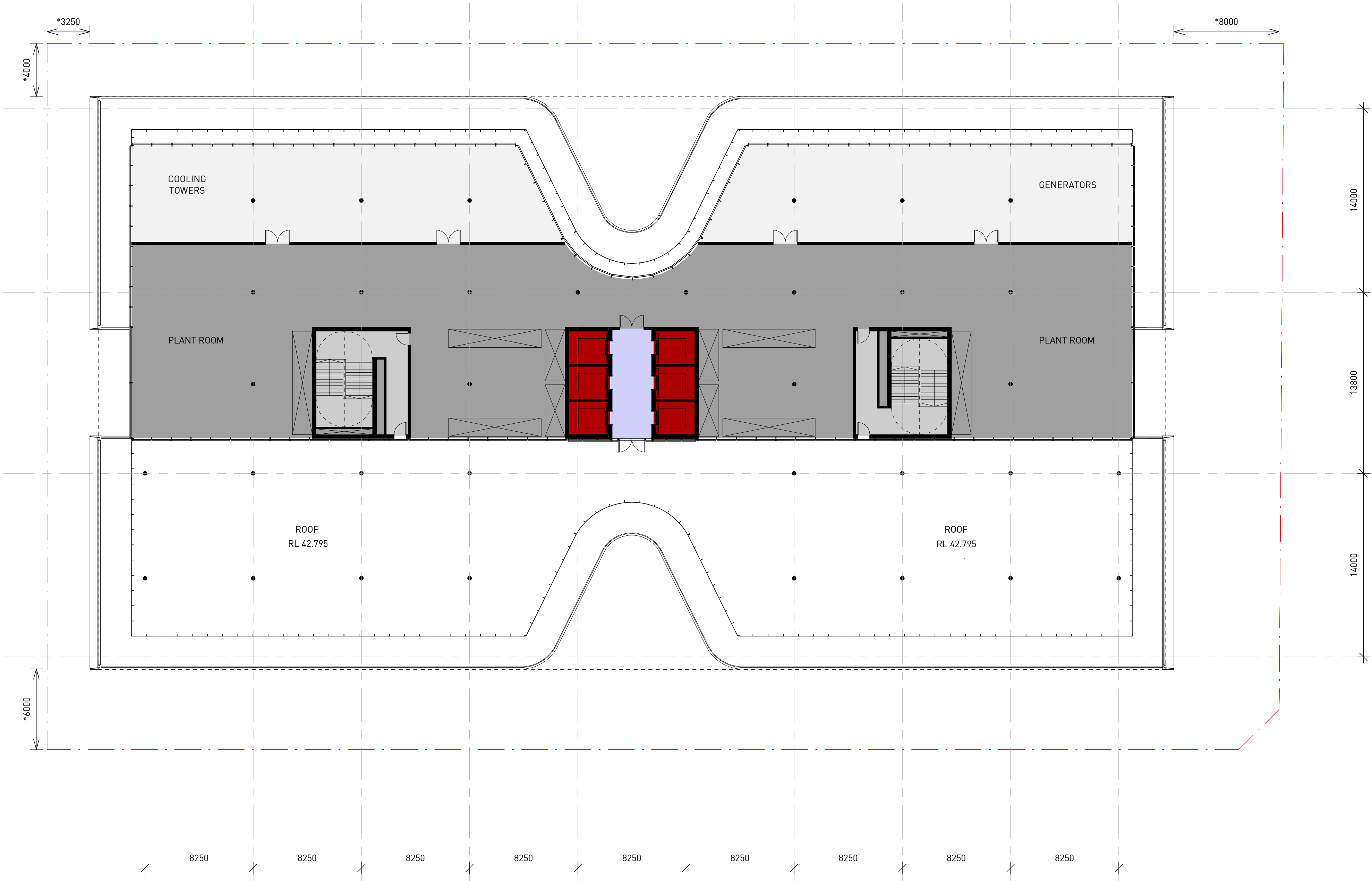
Rev

C

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Project

50 Kent Road

Scale

1 : 200 @A1
(half scale @ A3)

North



Drawing Title

ROOF PLAN

Project No.

19-026

Stage.

DEVELOPMENT APPLICATION

Drawing No.

DA-12-20

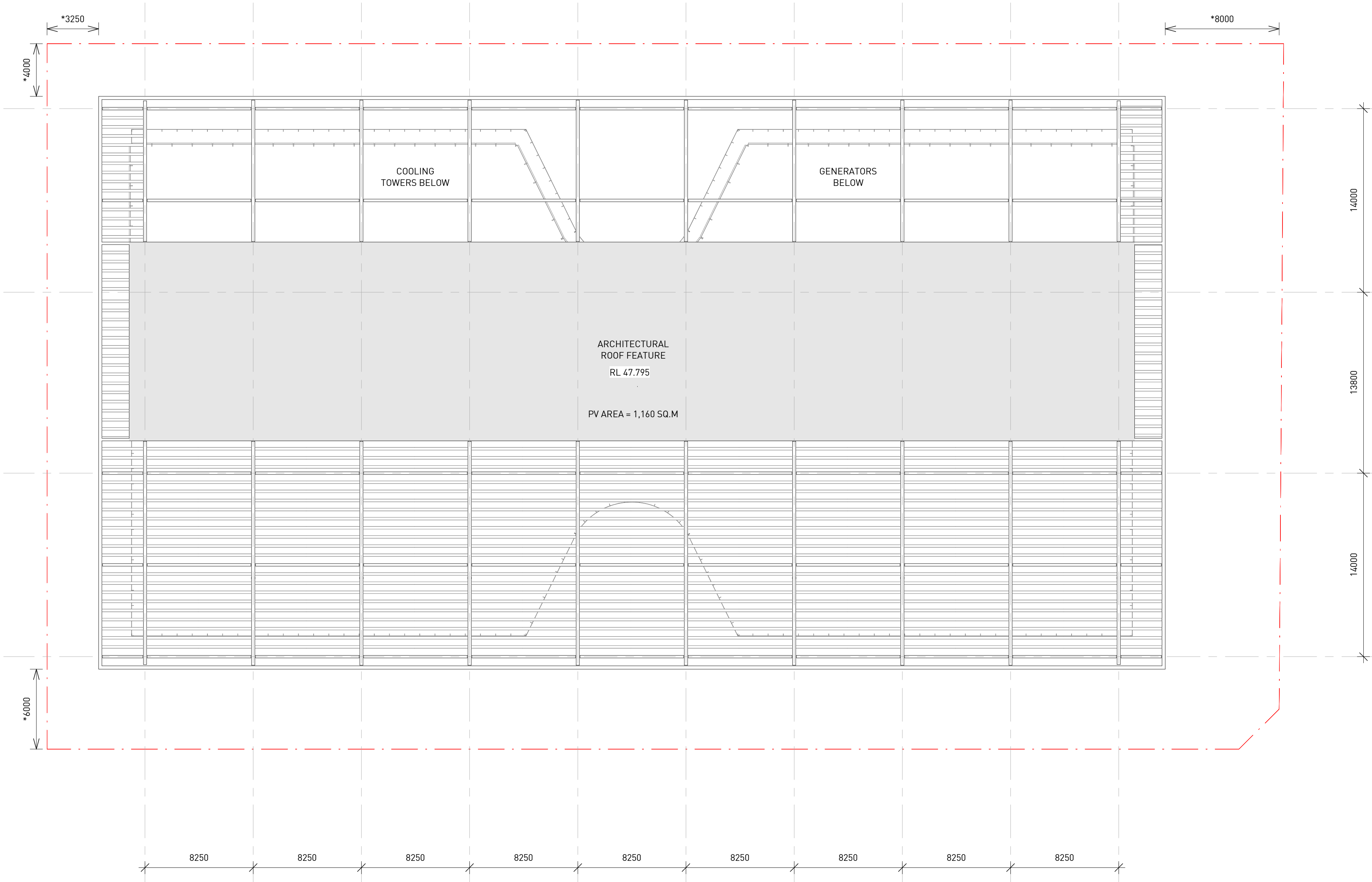
Rev

C

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Project

50 Kent Road

Scale

1 : 200 @A1
(half scale @ A3)

North



Drawing Title

ARCHITECTURAL ROOF
FEATURE PLAN

Project No.

19-026

Stage.

DEVELOPMENT APPLICATION

Drawing No.

DA-12-21

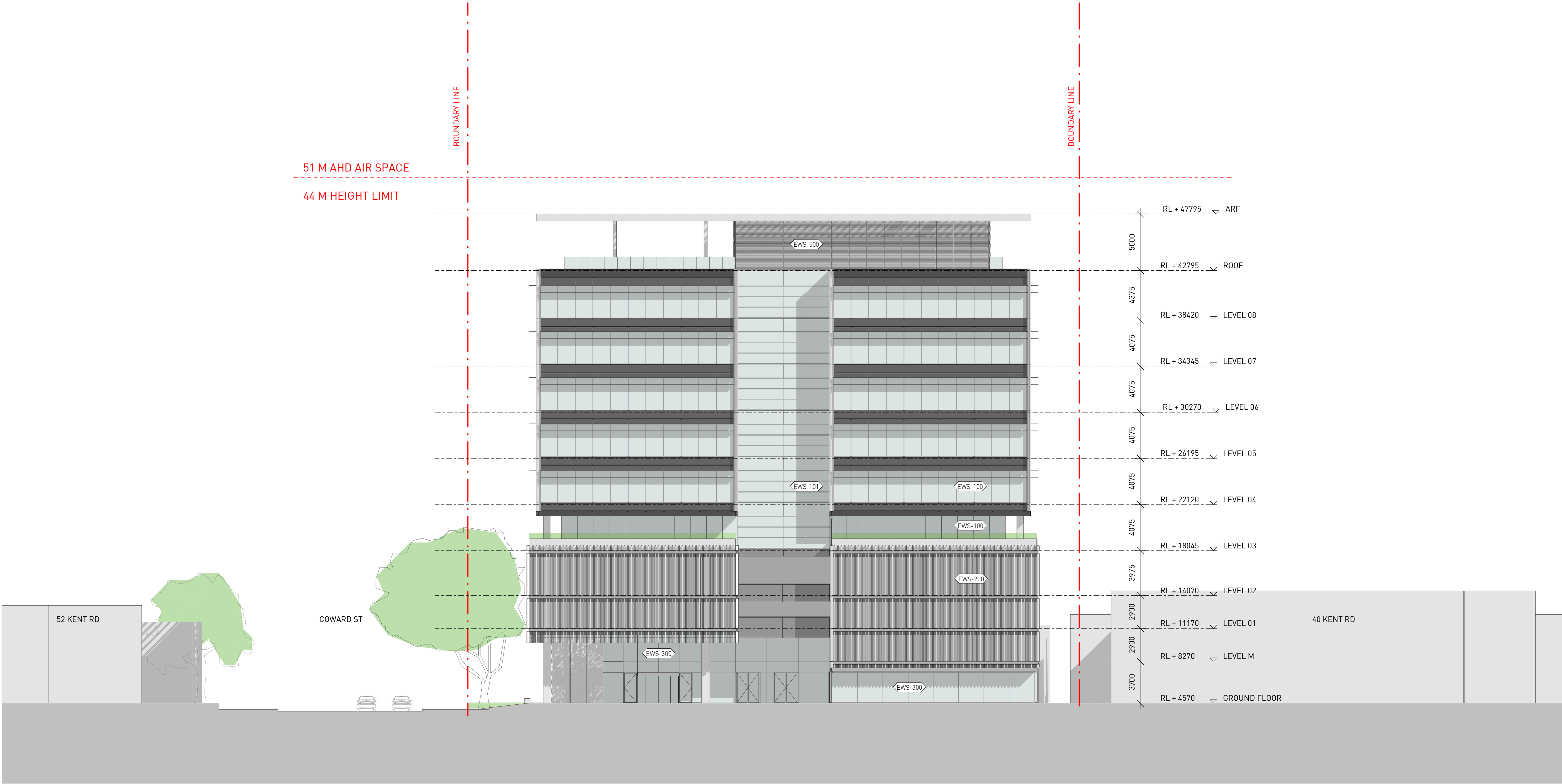
Rev

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FACADE LEGEND		
CODE	SYSTEM	LOCATION
EWS-100	IGU FACADE TYPE A	OFFICE LEVELS 4-9
EWS-101	IGU FACADE TYPE B	OFFICE LEVELS 4-9
EWS-200	PRECAST PANEL	GROUND LEVEL
EWS-300	LOBBY FACADE	GROUND LEVEL
EWS-400	ALUMINIUM FIN	CARPARK LEVELS M-3
EWS-401	PERFORATED ALUMINIUM	CARPARK LEVELS M-3
EWS-500	ALUMINIUM LOUVRE	ROOF LEVEL

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Client

Tipalea Partners Pty Ltd

Project

50 Kent Road

Scale

As indicated @A1
(half scale @ A3)

Drawing Title

EAST ELEVATION

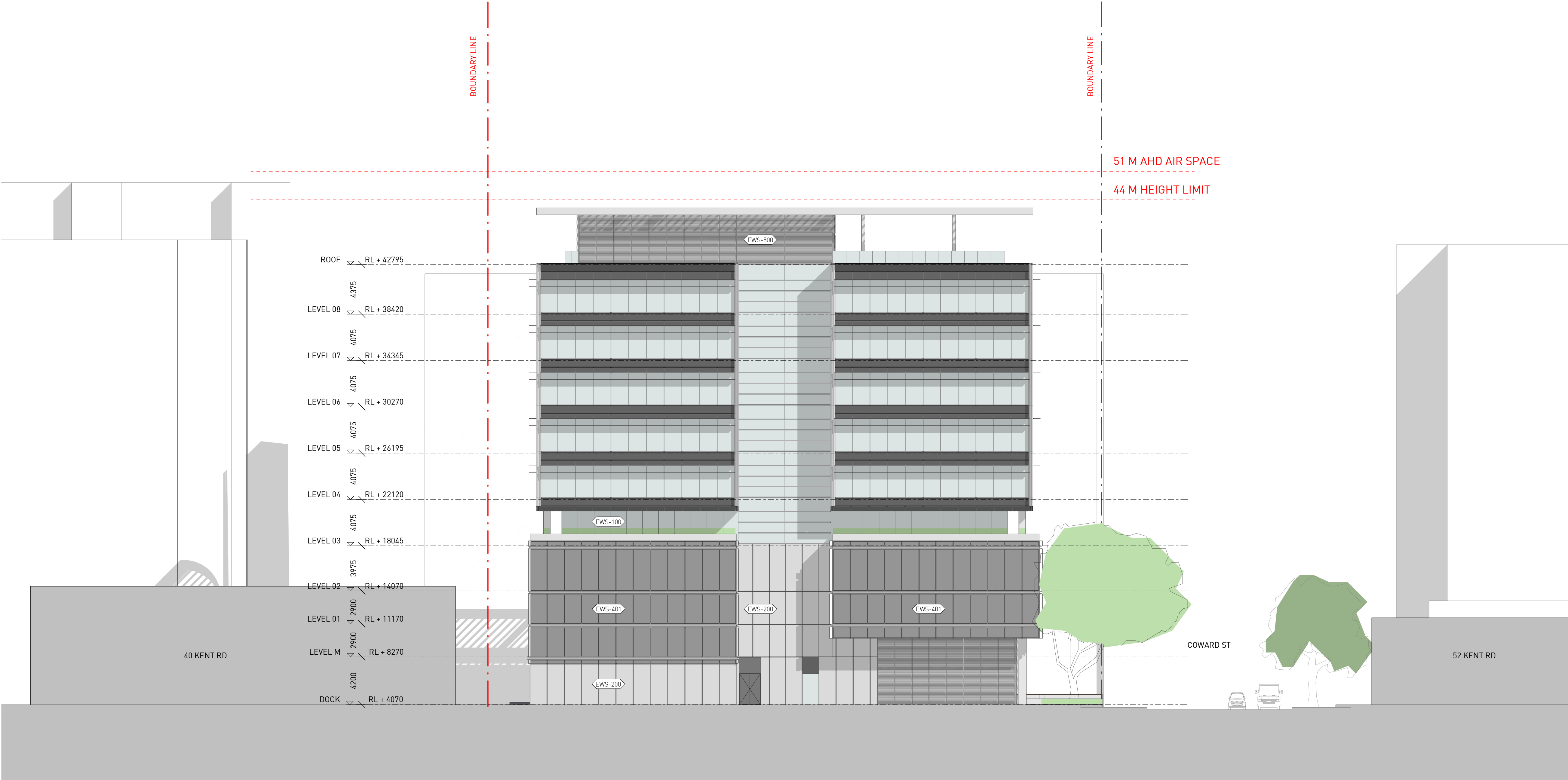
Project No.	Stage.
19-026	DEVELOPMENT APPLICATION

Drawing No.	Rev
DA-15-01	C

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Tipalea Partners Pty Ltd

Project
50 Kent Road

Scale
As indicated @A1
(half scale @ A3)

Drawing Title
WEST ELEVATION

Project No.	Stage.
19-026	DEVELOPMENT APPLICATION

Drawing No.	Rev
DA-15-02	C

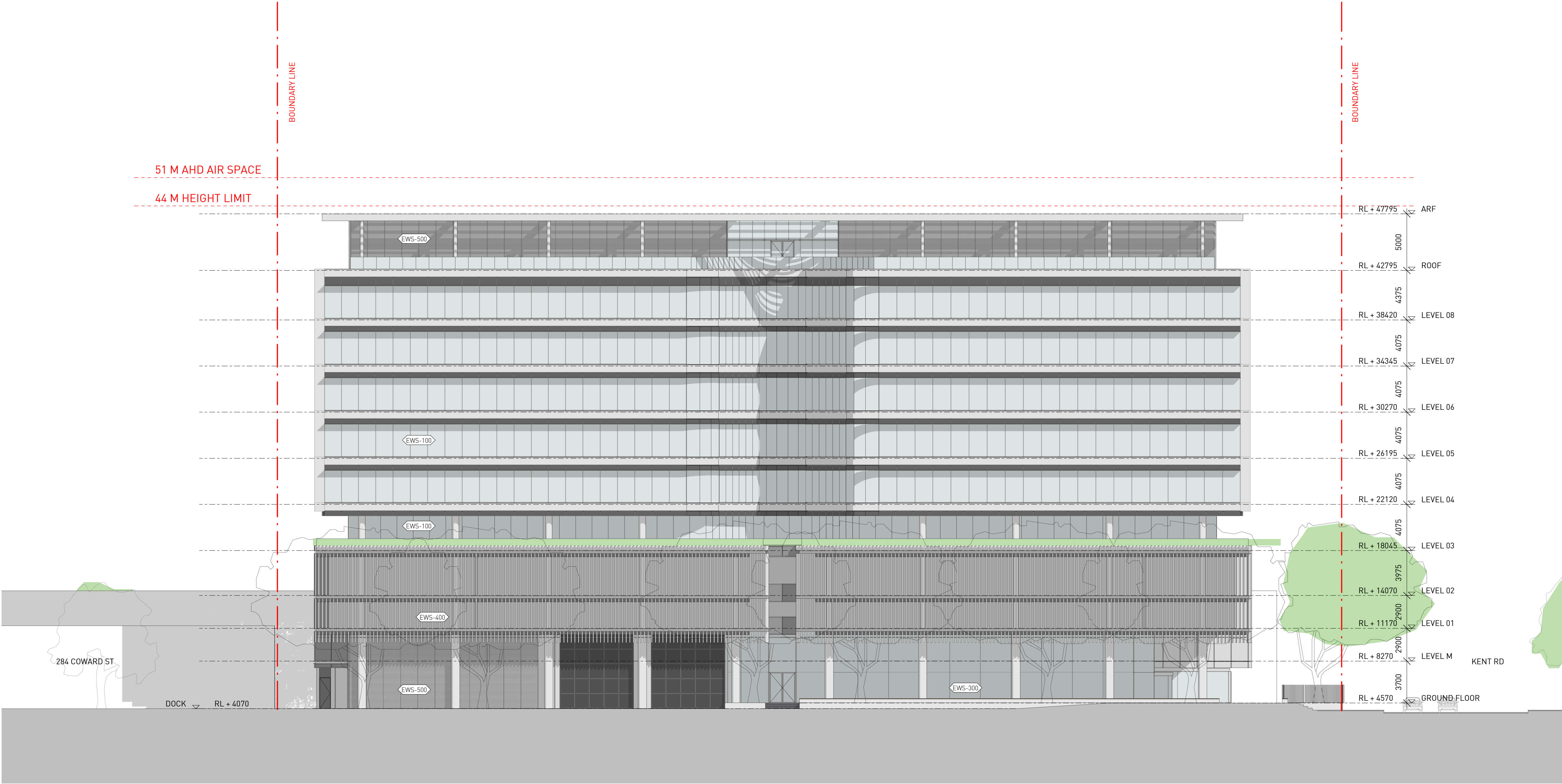
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FACADE LEGEND

CODE	SYSTEM	LOCATION
EWS-100	IGU FACADE TYPE A	OFFICE LEVELS 4-9
EWS-101	IGU FACADE TYPE B	OFFICE LEVELS 4-9
EWS-200	PRECAST PANEL	GROUND LEVEL
EWS-300	LOBBY FACADE	GROUND LEVEL
EWS-400	ALUMINIUM FIN	CARPARK LEVELS M-3
EWS-401	PERFORATED ALUMINIUM	CARPARK LEVELS M-3
EWS-500	ALUMINIUM LOUVRE	ROOF LEVEL



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50 Kent Road

Scale

As indicated @A1
(half scale @ A3)

Drawing Title

SOUTH ELEVATION

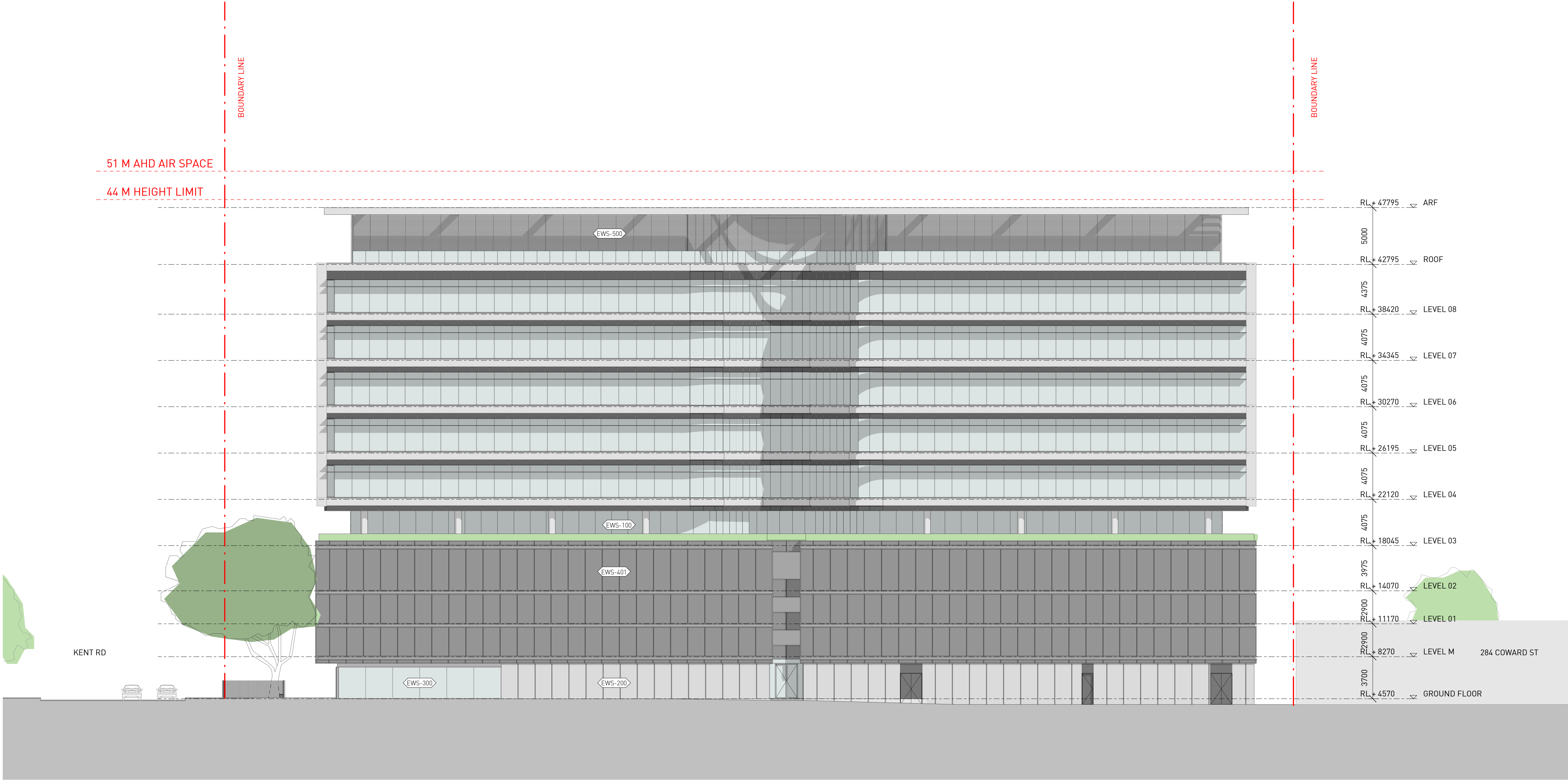
Project No.	Stage.
19-026	DEVELOPMENT APPLICATION

Drawing No.	Rev
DA-15-03	C

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EWS-401	PERFORATED ALUMINIUM	CARPARK LEVELS M-3
EWS-500	ALUMINIUM LOUVRE	ROOF LEVEL

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Project

50 Kent Road

Scale

As indicated @A1
(half scale @ A3)

Drawing Title

NORTH ELEVATION

Project No. Stage.

19-026 DEVELOPMENT APPLICATION

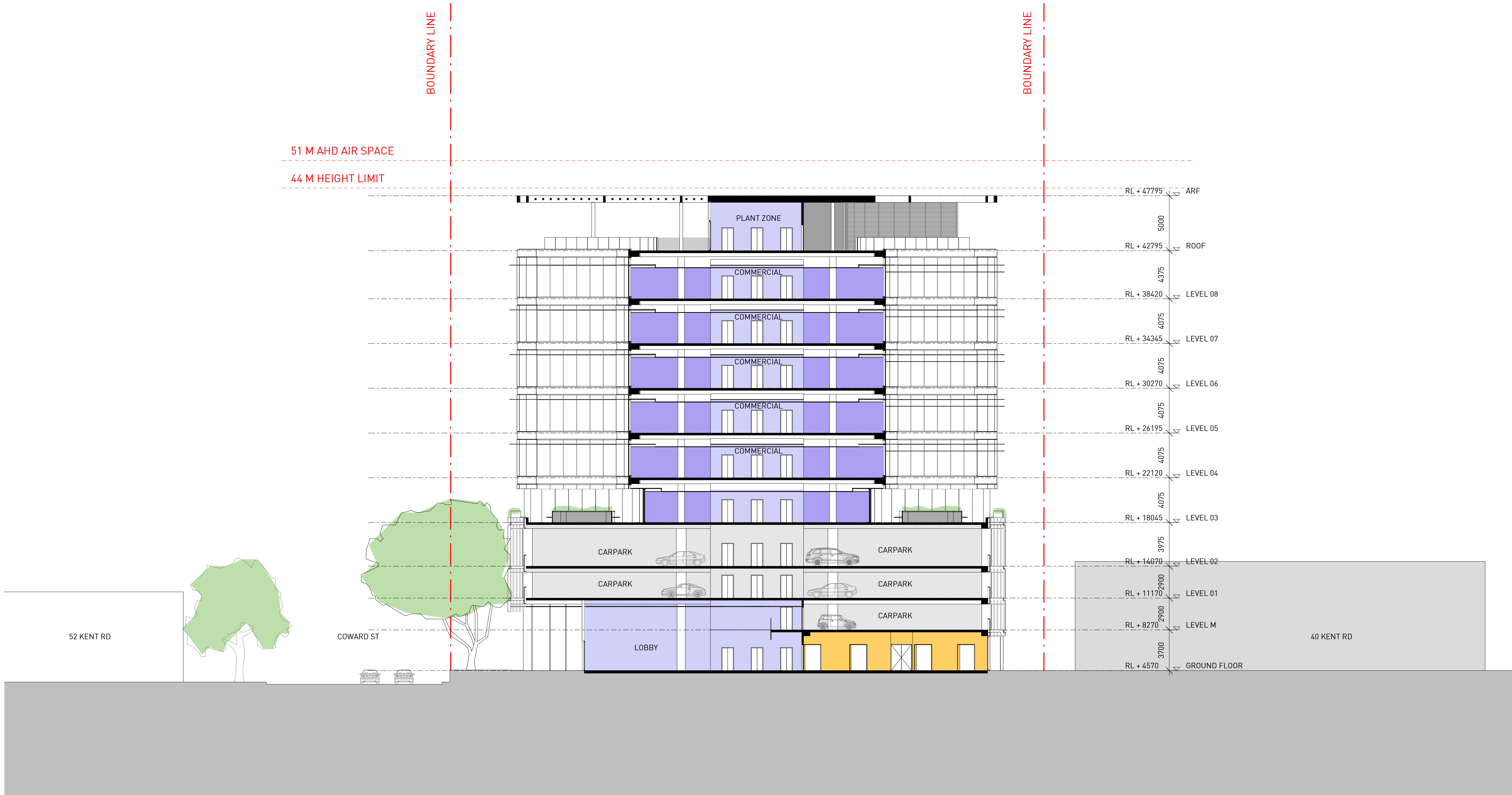
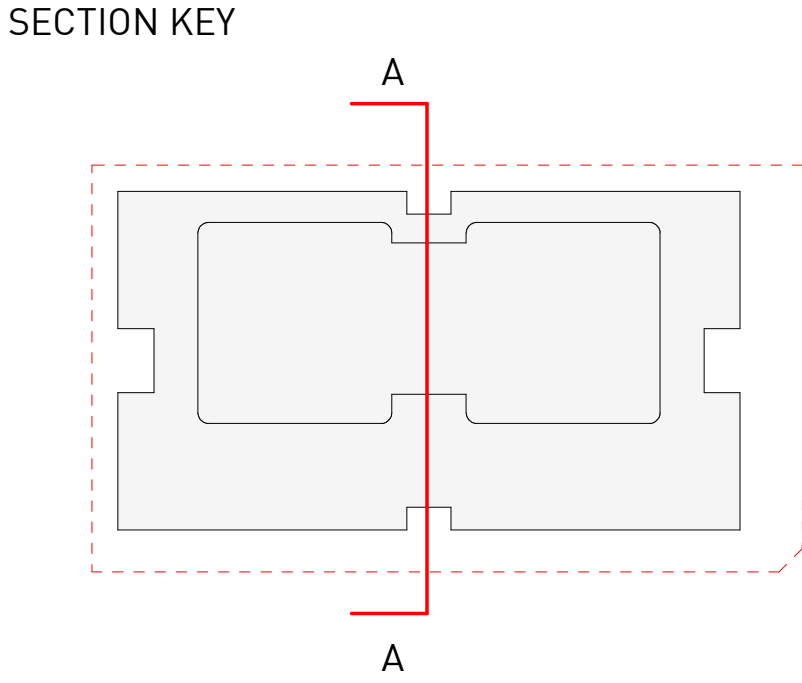
Drawing No. Rev

DA-15-04 C

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Project

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Scale

As indicated @A1
(half scale @ A3)

Drawing Title

SECTION AA

Project No.	Stage.
19-026	DEVELOPMENT APPLICATION

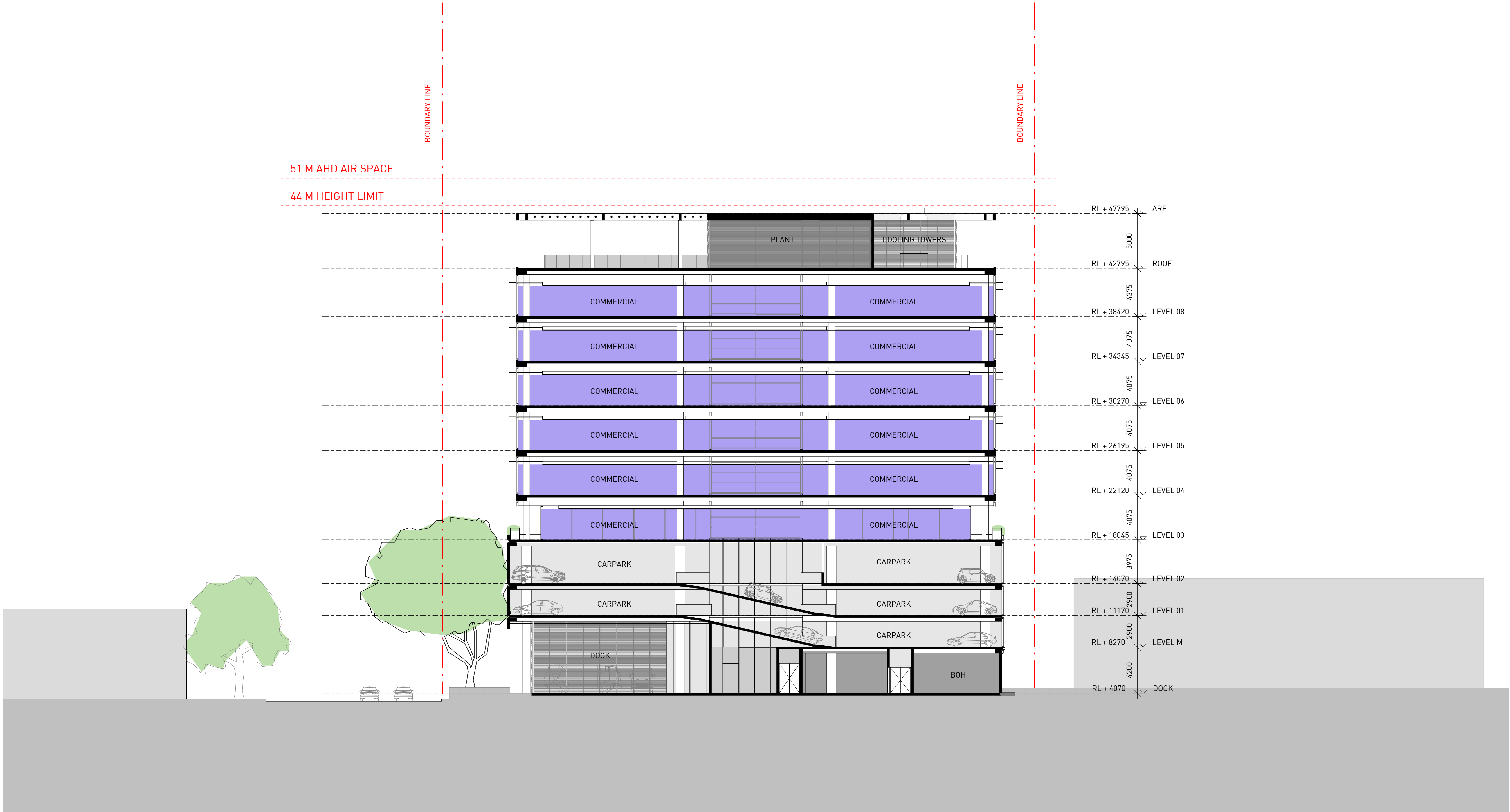
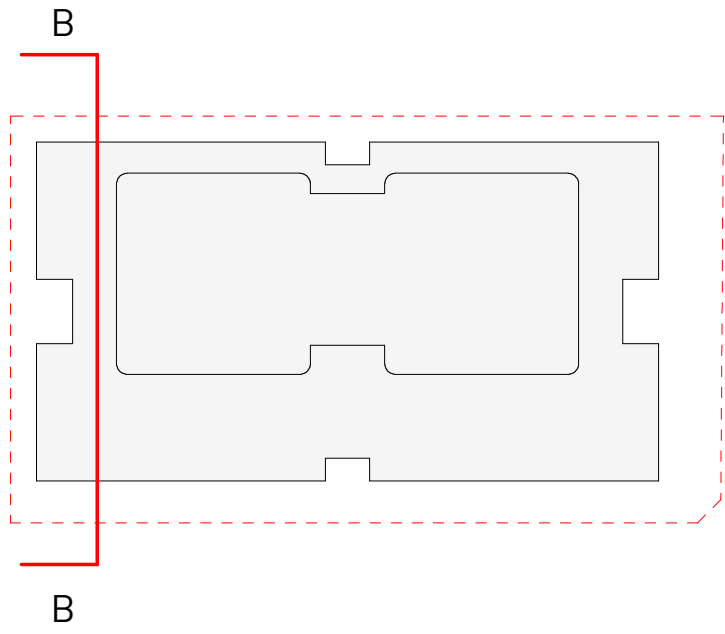
Drawing No.	Rev
DA-16-01	C

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SECTION KEY



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Project

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Scale

As indicated @A1
(half scale @ A3)

Drawing Title

SECTION BB

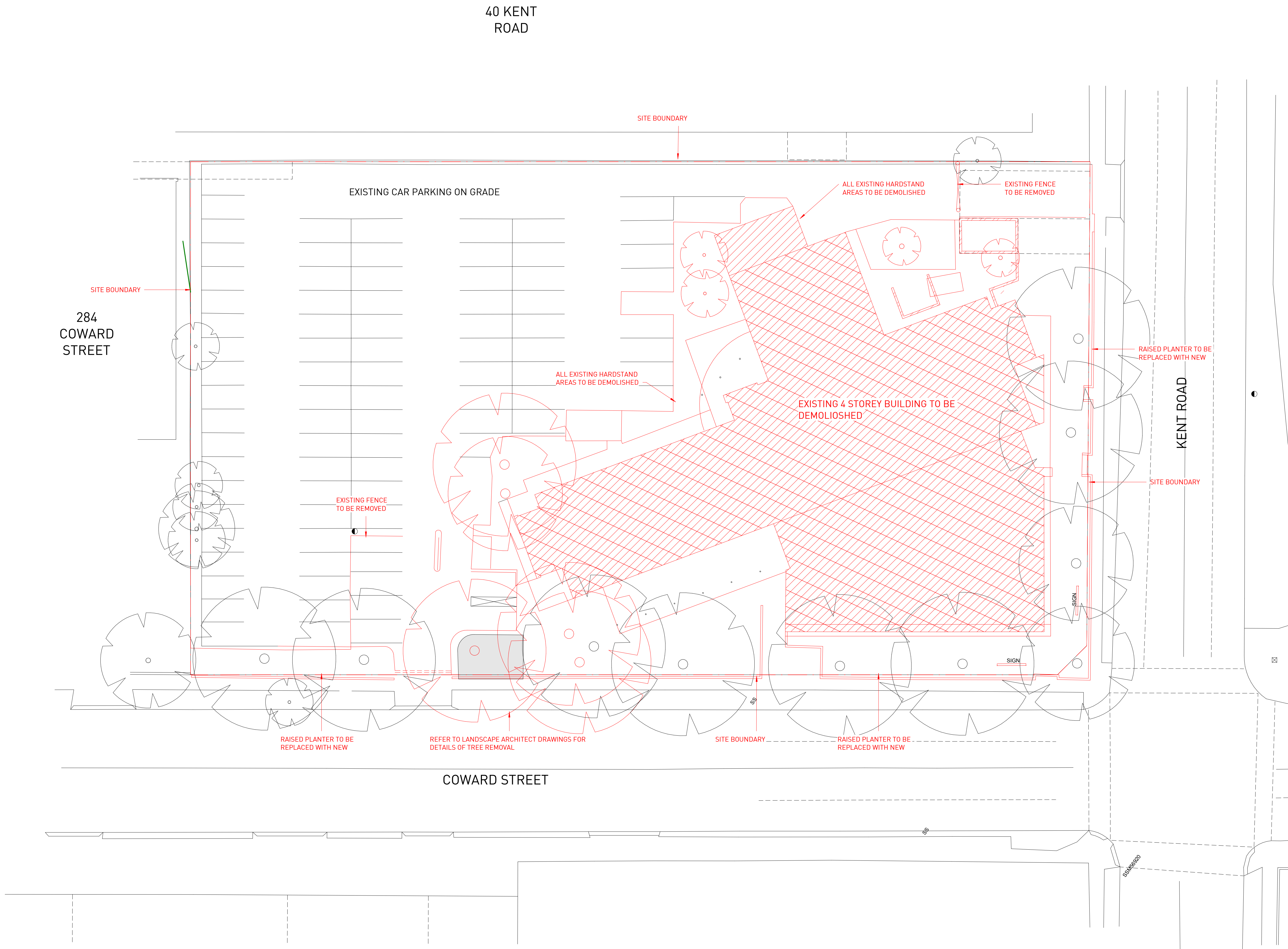
Project No.	Stage.
19-026	DEVELOPMENT APPLICATION

Drawing No.	Rev
DA-16-02	C

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Scale

1 : 200 @A1
(half scale @ A3)

Drawing Title

DEMOLITION PLAN

Project No.

19-026

Stage.

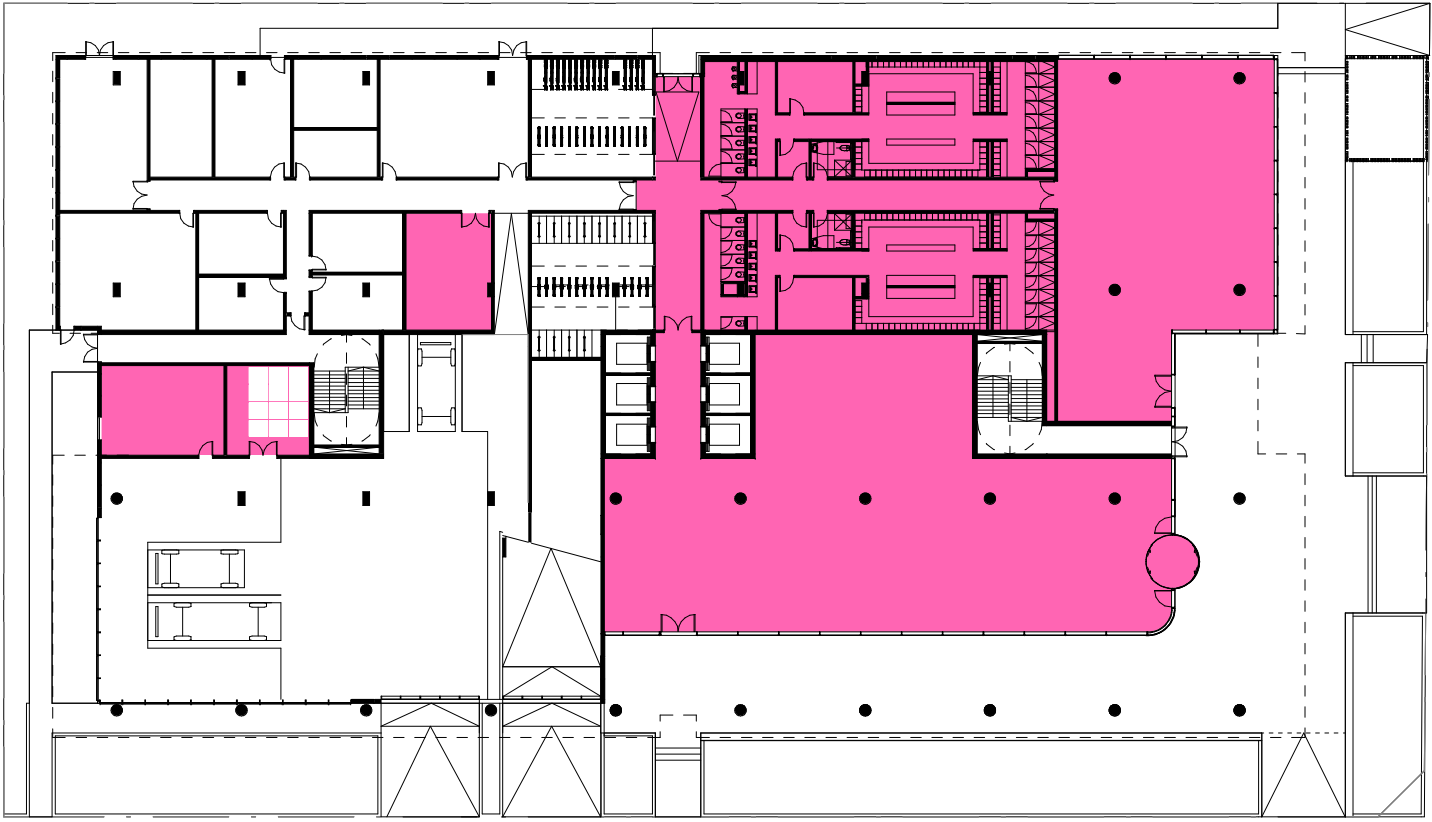
DEVELOPMENT APPLICATION

Drawing No.

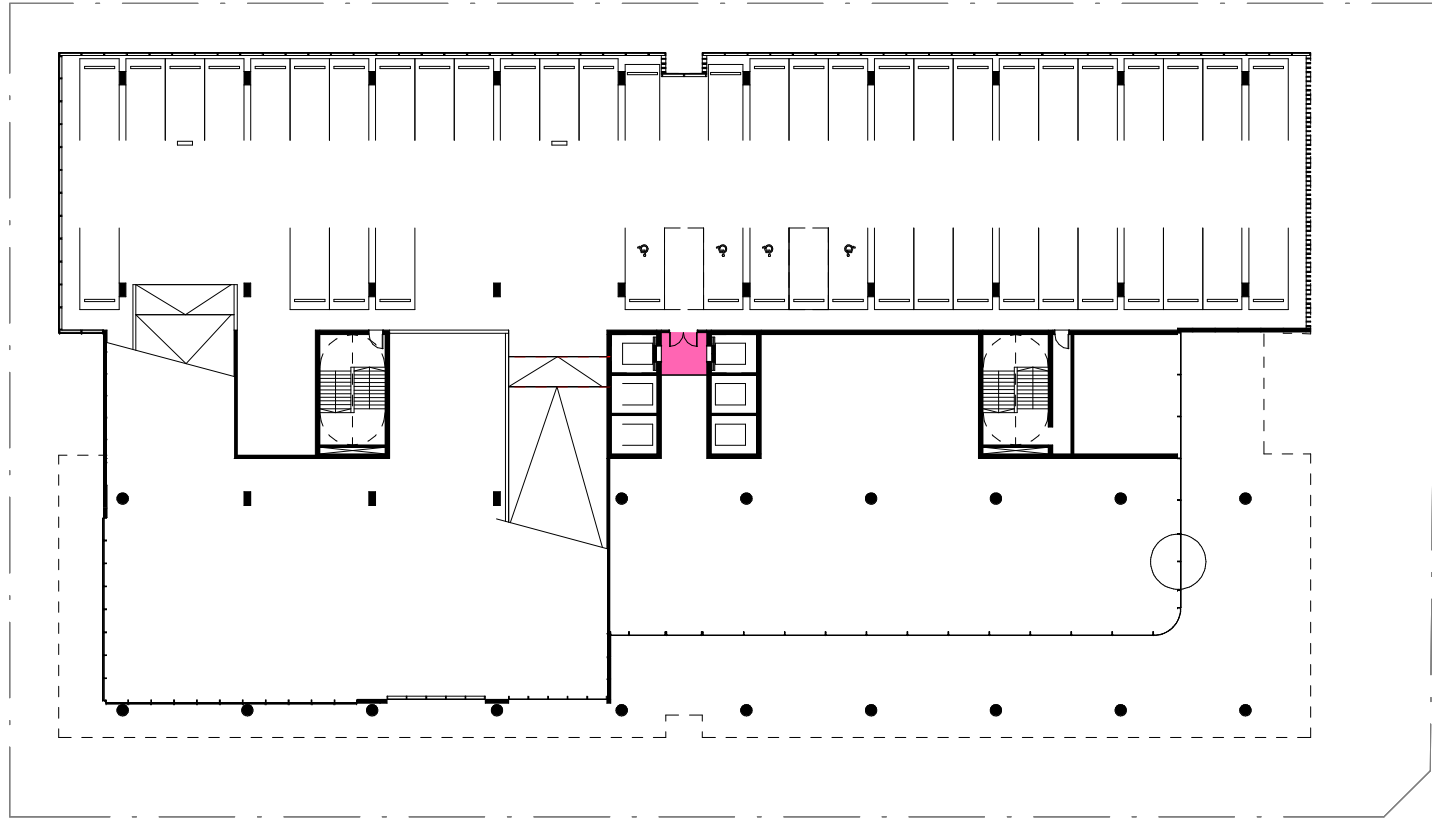
DA-17-60

Rev

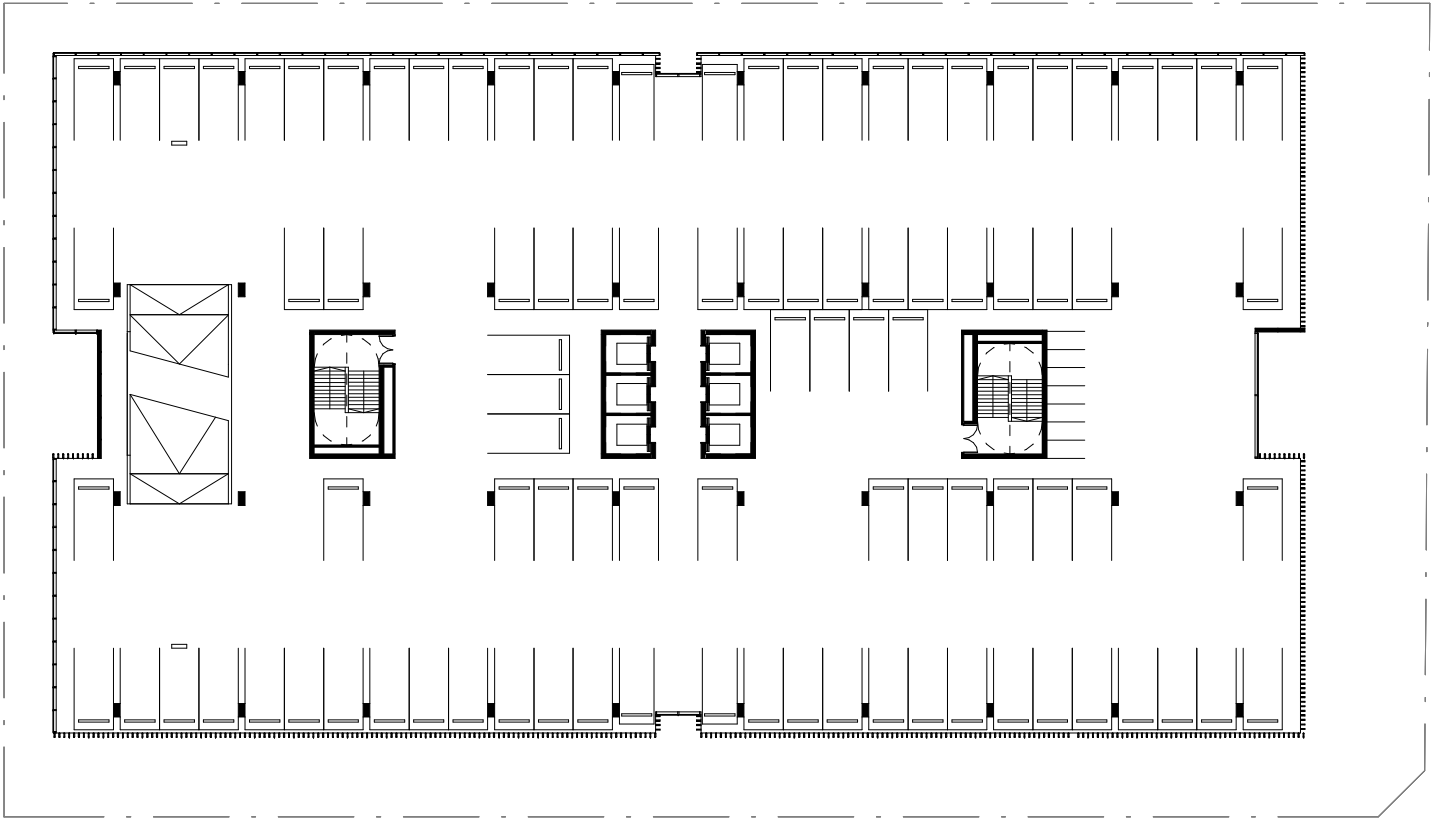
C



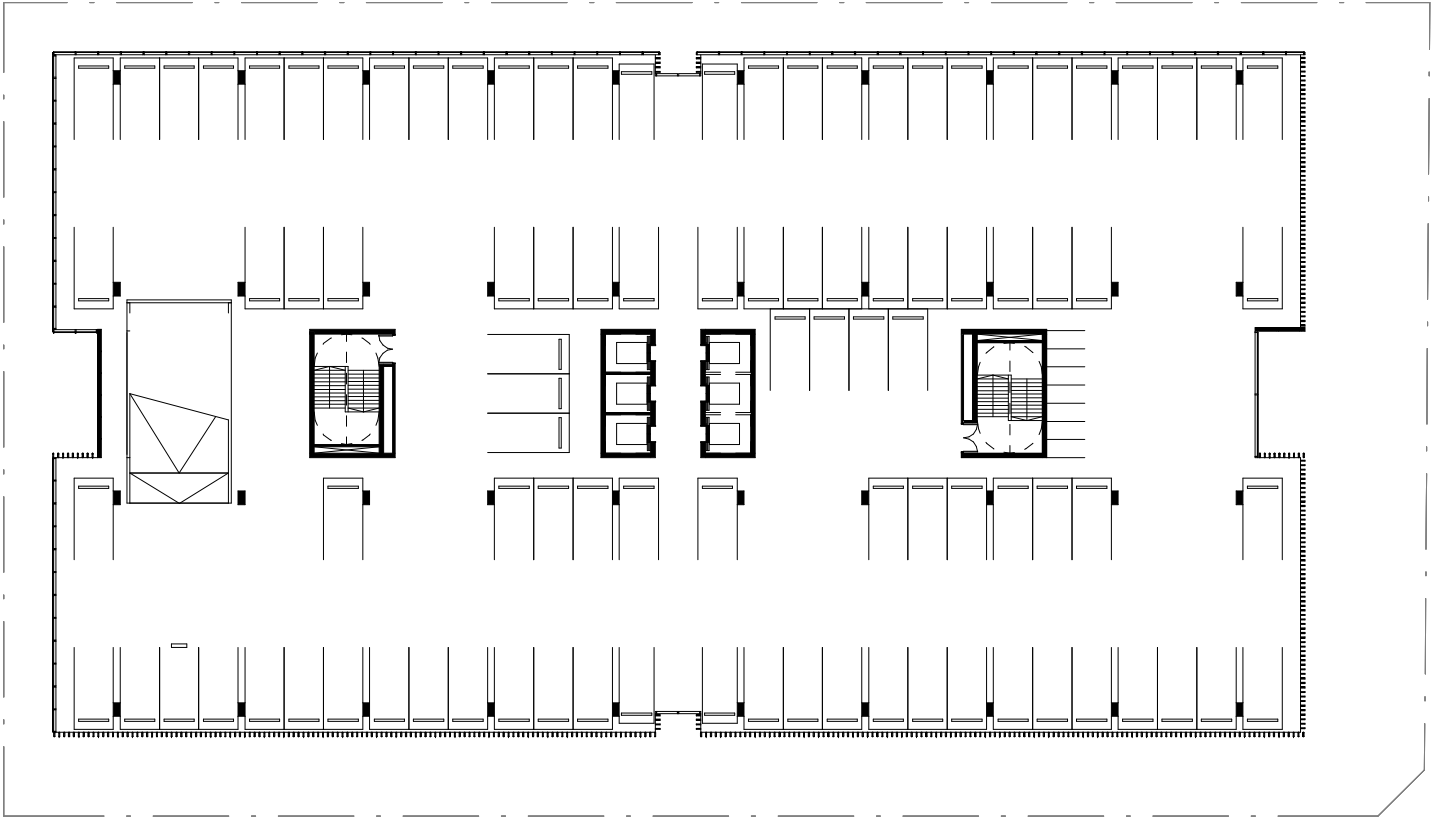
2 GROUND FLOOR
1 : 500
GFA = 1,488 m²



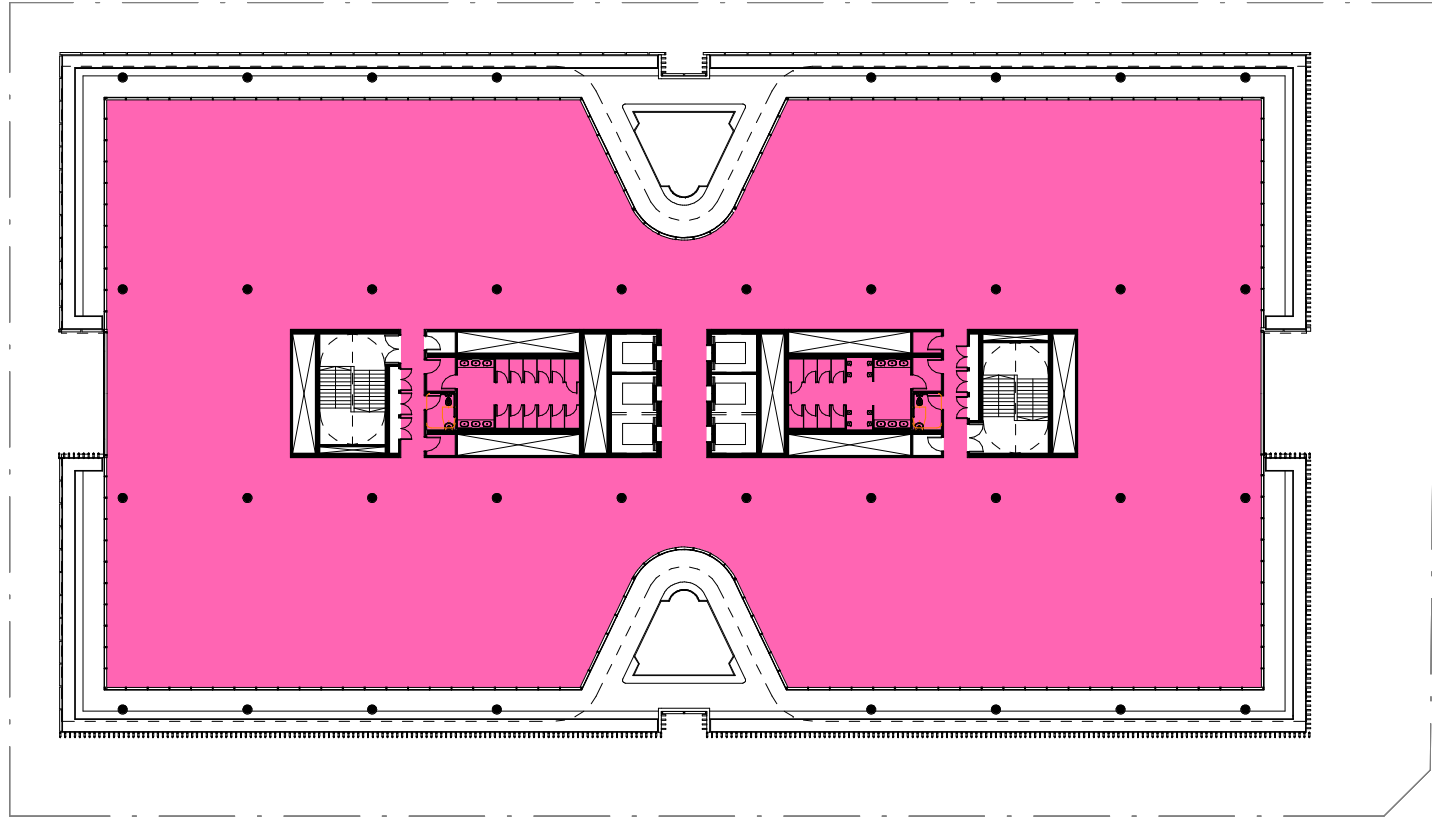
3 LEVEL M
1 : 500
GFA = 9 m²



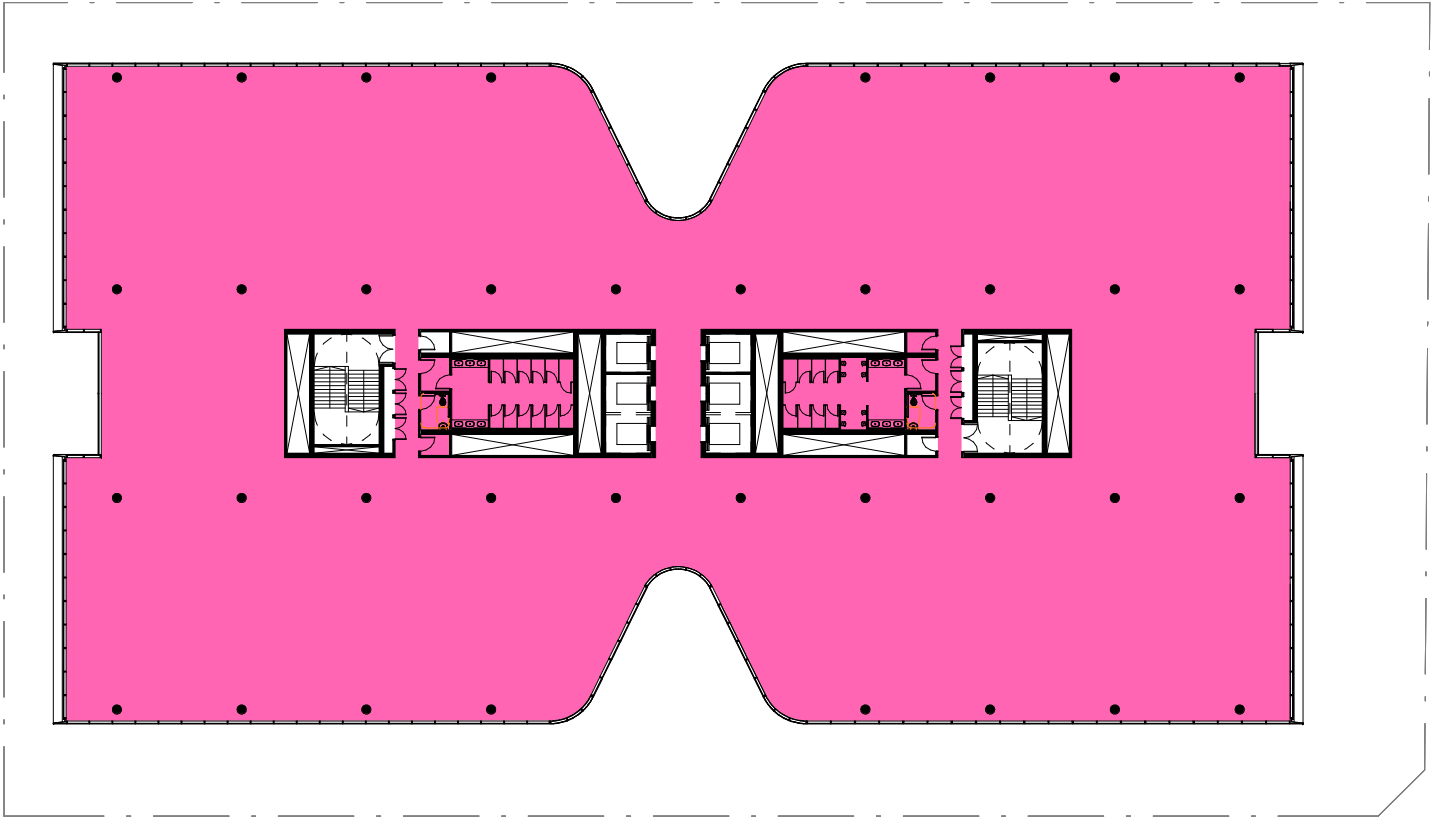
4 LEVEL 01
1 : 500
GFA = 0 m²



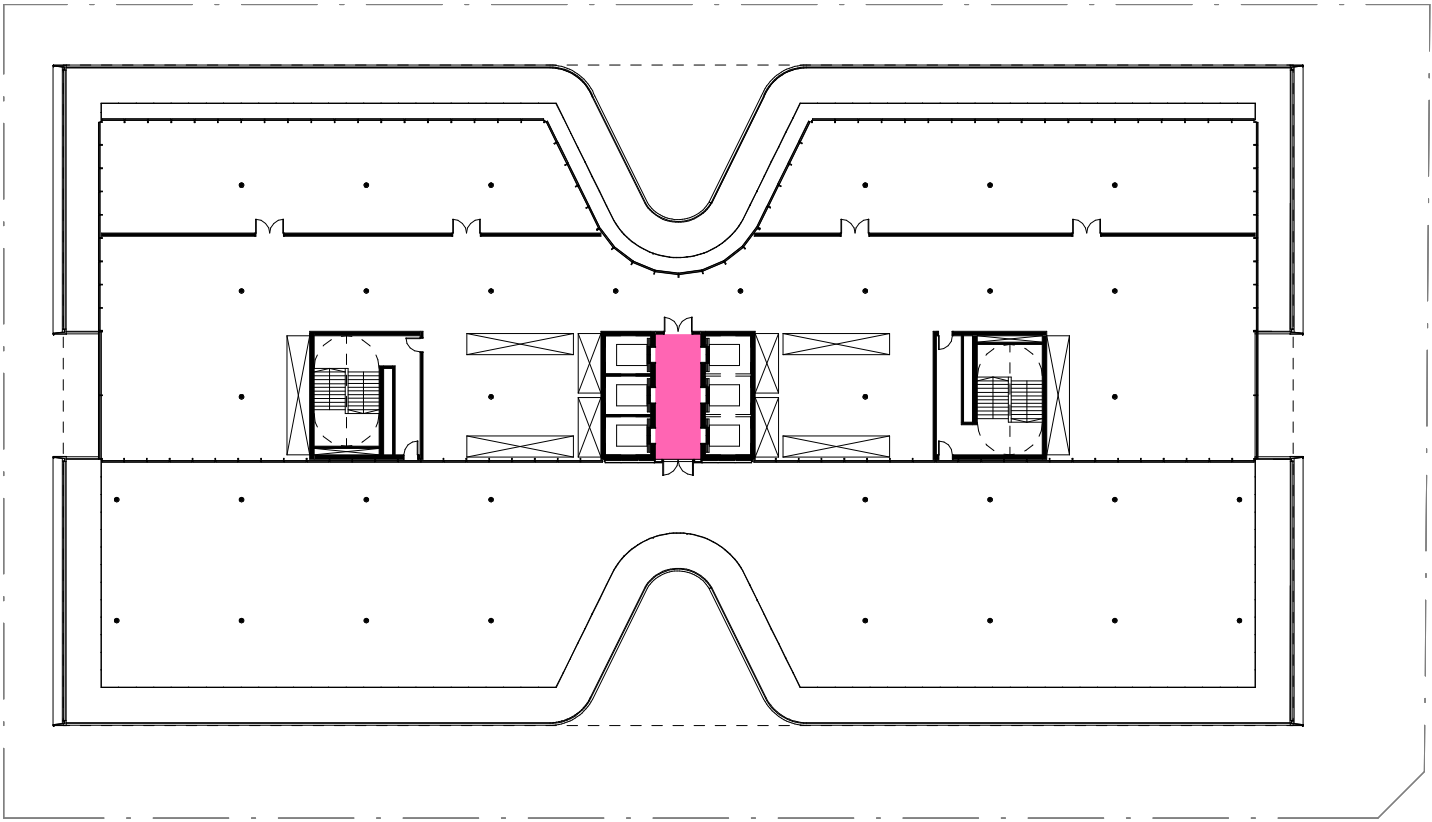
1 LEVEL 02
1 : 500
GFA = 0 m²



5 LEVEL 03
1 : 500
GFA = 2,504 m²



6 LEVELS 04-08
1 : 500
GFA = 3,006 m²



7 ROOF
1 : 500
GFA = 25 m²

Notes

All existing conditions to be checked on site. All dimensions and setouts to be verified prior to commencement on site. All omissions or discrepancies to be notified to the architect.

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GFA SUMMARY		
Roof	25	m ²
Level 8	3,006	m ²
Level 7	3,006	m ²
Level 6	3,006	m ²
Level 5	3,006	m ²
Level 4	3,006	m ²
Level 3	2,504	m ²
Level 2	0	m ²
Level 1	0	m ²
Mezzanine	9	m ²
Ground	1,488	m ²
Basement	0	m ²
TOTAL	19,056	m ²

GFA SUMMARY		
Site Area	5,059	m ²
Total GFA	19,056	m ²
FSR	3.77:1	

C	18.08.20	DEVELOPMENT APPLICATION - AMENDED
B	19.06.20	DEVELOPMENT APPLICATION - AMENDED
A	16.12.19	DEVELOPMENT APPLICATION

Rev	Date	Description
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sissons.

p: 02 8904 1853 abn: 31 621 375 129
a: Level 5, 53 Berry Street, North Sydney, NSW 2060
nominated architect: Nick Sissons NSW ARB 7210

Client

Tipalea Partners Pty Ltd

Project

50 Kent Road

Scale

As indicated @A1
(half scale @ A3)

Drawing Title

GFA AREAS

Project No.

19-026

Stage.

DEVELOPMENT APPLICATION

Drawing No.

DA-17-80

Rev

C

50 KENT ROAD - AREA SCHEDULE

DATE: 18.08.20
REVISION: C
STAGE: DEVELOPMENT APPLICATION
CLIENT: Tipalea Partners Pty Ltd
SITE AREA: 5,059 sqm
FSR 3.77 :1
GFA 19,056 sqm
NLA 17,365 sqm (incl. retail)

LIFTING		BUILDING HEIGHT			
P	G	LEVEL	USE	FL-FL	HEIGHT*
			ROOF FEATURE		47.80
		9	ROOF	5.00	42.80
		8	COMMERCIAL OFFICE	4.38	38.42
		7	COMMERCIAL OFFICE	4.08	34.35
		6	COMMERCIAL OFFICE	4.08	30.27
		5	COMMERCIAL OFFICE	4.08	26.20
		4	COMMERCIAL OFFICE	4.08	22.12
		3	COMMERCIAL OFFICE	4.08	18.05
		2	PARKING	3.98	14.07
		1	PARKING	2.90	11.17
		M	PARKING	2.90	8.27
		G	RETAIL / LOADING / PLANT	3.70	4.57
5	1		TOTAL		

AREAS			EFFICIENCY		
GBA	GFA	EOT	NLA	NLA/GBA	NLA/GFA
3344	25				
3344	3006		2908	87%	97%
3344	3006		2908	87%	97%
3344	3006		2908	87%	97%
3344	3006		2908	87%	97%
3344	3006		2908	87%	97%
3629	2504		2395	66%	96%
3627					
3627					
1842	9				
3045	1488	410	430		
35,834	19,056	410	17,365		

PARKING						
STANDARD	SMALL	DDA	EV	SHARE	MOTOR/B	P/BIKE
89	4		3		7	
88	4		3		7	
35	2	4	3	3		
						112
212	10	4	9	3	14	112

NOTES:
All areas are approximate only and should be read in conjunction with drawings.
All areas are preliminary and are subject to detailed design development.
NLA: Net Lettable Area (excludes lift lobby areas and building services)
GFA: Gross Floor Area - to Council definition
GBA: Gross Building Area - area of total enclosed perimeter

PARKING RATES					
DCP	1 space	:40 sqm GFA	=		476 spaces
SCHEME	1 space	:58 sqm GFA	=		238 spaces